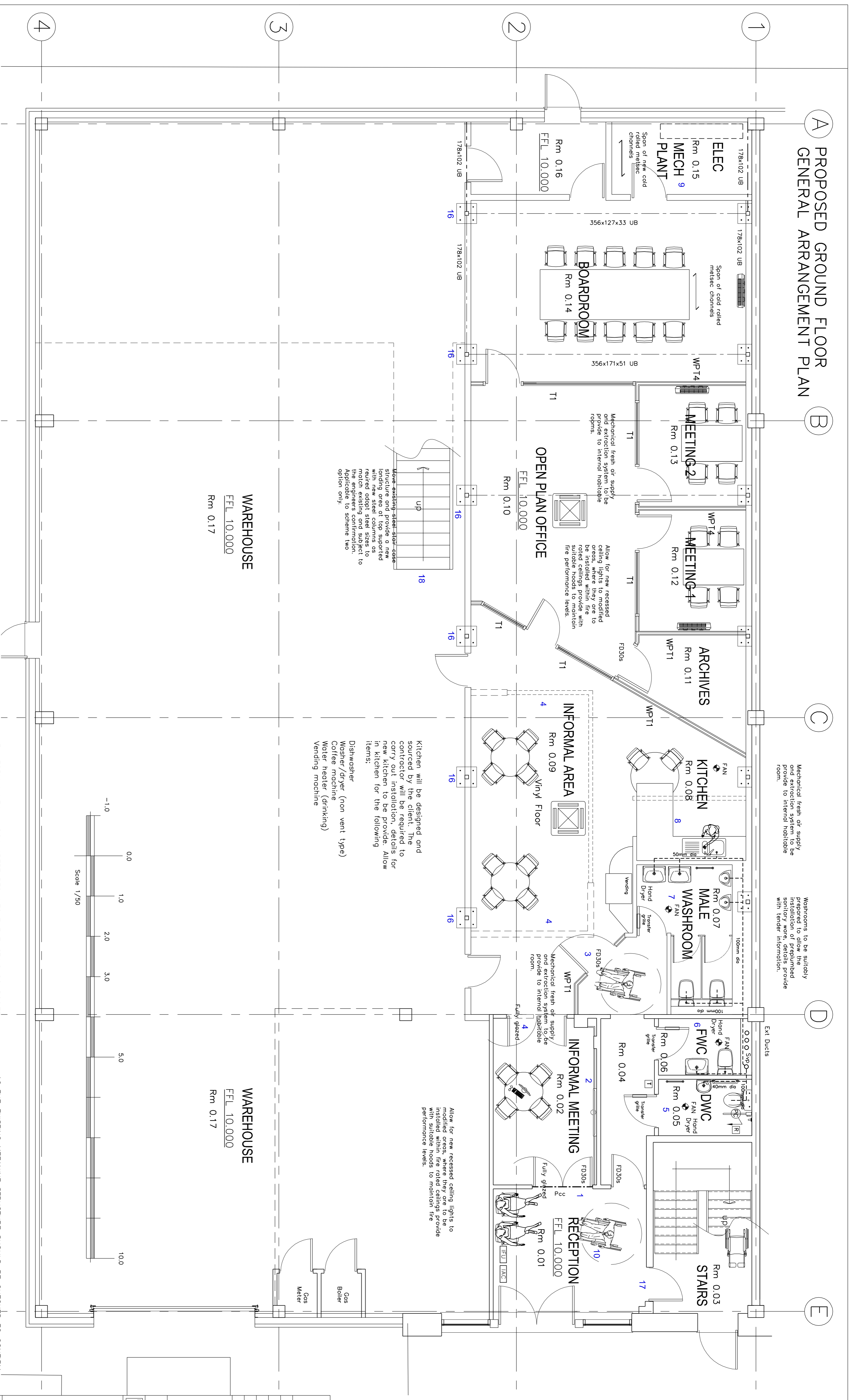


PROPOSED GROUND FLOOR GENERAL ARRANGEMENT PLAN



NOTES

- REMOVE EXISTING DOOR AND INCREASE APERTURE COMPLETE WITH PRECAST CONCRETE LINTEL OVER. MAKE GOOD SURROUNDING REMAINING AREA INCLUDING SKIRTINGS AND NEW ARCHITRAVES TO MATCH EXISTING.
- REMOVE EXISTING PARTITIONING AND MAKE GOOD ANY REMAINING ELEMENTS AND SERVICES AS REQUIRED.
- REMOVE EXISTING SANITARY WARE AND PROVIDE NEW COMPLAINT, PROVIDE NEW DECORATION TO CLIENTS APPROVAL OF SAMPLES.
- REMOVE EXISTING FIXTURES AND FITTINGS TO BE REMOVED AND ROOM PREPARED FOR INSTALLATION OF NEW SANITARY WARE, MAKE GOOD ANY DEFECTS AS REQUIRED.
- REMOVE EXISTING SANITARYWARE AND REPLACE TO NEW SPECIFICATION, MAKE GOOD ANY DEFECTS AND PROVIDE NEW DECORATION TO CLIENT INSTRUCTION.
- REMOVE EXISTING KITCHEN AND REFIT NEW TO CLIENT INSTRUCTION MAKING GOOD ANY DEFECTS AS REQUIRED. THE NEW KITCHEN DESIGN SHOULD BE AS FULLY ACCESSIBLE AS IT CAN.
- CONSTRUCT NEW MEZZANINE STRUCTURE INCLUDING FIRE RATED CEILING (60 MINS) AND FLOORING TO OFFICE OVER ALL THE DETAILED DESIGN BY THE CONSULTING STRUCTURAL ENGINEER. ALL HEIGHTS ARE TO MATCH EXISTING. REMOVE THE EXISTING MECHANICAL PLANT VENTILATION AND EXTRACT SYSTEM AND RELOCATE AS ADVISED BY SPECIALIST CONTRACTOR. THE EXISTING MECHANICAL SYSTEM SHOULD BE FULLY SERVICED AND UPGRADERS FOR EFFICIENCY ADVISED TO THE CLIENT FOR CONSIDERATION.
- REMOVE THE EXISTING METAL TYPE SUSPENDED CEILING FROM THE RECEPTION AREA AND PROVIDE A NEW SUSPENDED CEILING AS OTHER AREAS COMPLETE WITH RECESSED LIGHTING.
- REMOVE THE EXISTING BLOCKWORK WALL AND PROVIDE NEW STRUCTURAL STEEL WORK TO SUPPORT WATER TANK SUPPORTING STRUCTURE ALL TO THE ENGINEERS DESIGN.
- MAKE GOOD FLOOR AND CEILING AT INCREASE KNOCK THROUGH NOTE A SLIGHT RAMPED AREA WILL BE REQUIRED BETWEEN DIFFERING FINISHED FLOOR LEVELS.
- FORM A NEW WINDOW APERTURES INTO THE EXISTING COMPOSITE INSULATED WALL PANELS PROVIDE ADDITIONAL SUPPORT TO THE EXISTING CLADDING RAILS AND PROVIDE NEW COLLED ROLLED STEELWORK TO TRIM OPENING. NEW COATED STEEL FLASHINGS TO BE PROVIDED TO MATCH COLOUR AND STYLE OF EXISTING. NEW POWDER COATED ALUMINIUM WINDOWS TO BE THERMALLY BROKEN AND TO MATCH THOSE ON THE PRINCIPLE FACADE. PROVIDE FRICKLE VENTILATOR UNITS OF SOUND REDUCTION TYPE DUE TO PROXIMITY TO HIGHWAY ADJACENT.
- PROVIDE NEW PARTITION WALL STRUCTURE OF AT LEAST 60 MINUTES FIRE RESISTING AND TO EXTEND FROM FLOOR LEVEL UP TO THE UNDERSIDE OF THE ROOF STRUCTURE. UNDER DRAW ROOF LIGHTS AND FIRE PROTECT ALL STRUCTURAL STEEL WORK WITHIN 1.5M OF THE WALL. IF REQUIRED BY THE BUILDING INSPECTOR ADOPT FIRE PROTECTION AND UNDER DRAWING OF ROOF LIGHTS TO THE INSTALLED PARTITION WALL CONSTRUCTION AND AT LEAST SUITABLY FIRE STOP ALL PENETRATIONS OF THE WALL THAT ARE VISIBLE ABOVE THE CURRENT SUSPENDED CEILING LEVEL.
- FORM FOUR NEW WINDOW APERTURES INTO THE EXISTING PARTITION WALL WHICH SHOULD BE A MINIMUM OF 60 MINUTES FIRE RESISTING BY EITHER ADOPTING SUITABLE CLEAR PRECAST CONCRETE LINTEL WITH HARDWOOD FINISH OR BY CASTING IN PLACE OF GLASS SET WITHIN HARDWOOD FINISH. RESISTING SHUTTERS LINKED TO THE FIRE ALARM SYSTEM. WINDOWS ARE TO BE 1200x900MM HIGH. IT WILL BE REQUIRED TO PROVIDE AT LEAST BOXED STUDS TO THE SIDES OF THE WINDOWS FROM FLOOR TO UNDERSIDE OF ROOF. THE EXISTING WALL SHOULD BE OPENED UP TO CLARIFY CONSTRUCTION IS SUITABLE TO ACHIEVE REQUIRED PERIOD OF FIRE PROTECTION AND HEIGHT STABILITY. CONSULTATION WITH THE APPROPRIATE MANUFACTURER WILL BE REQUIRED TO CONFIRM THIS.
- THE EXISTING MEZZANINE STRUCTURE SHOULD BE CHECKED TO CONFIRM THAT THE FIRE PROTECTION IS PROVIDED INCLUDING JUNCTIONS WITH OTHER ELEMENTS OF THE STRUCTURE. THE CURRENT FIRE PROTECTION OF COLUMNS AND THE JUNCTION OF COLUMNS AND PARTITIONING APPEARS TO BE INADEQUATE.
- THE EXISTING DOOR TO STAIRCASE SHOULD BE MADE GOOD TO ACHIEVE THE REQUIRED PERIOD OF FIRE RESISTANCE FOR A PERMANENTLY RELOCATED DOORS WITH NEW TO DOORS TO ACHIEVE REQUIRED PERFORMANCE. THIS WILL ENSURE THAT ALL DOORS MATCH, ACCORDINGLY ADOPT NEW STAINLESS STEEL IRONMONGERY. ALL DOORS TO BE SOLID CORE AND TO CLIENTS APPROVAL OF SAMPLES.
- REMOVE AND RELOCATE EXISTING STEEL STRUCTURE STAIRCASE AND FORM A NEW STEEL FRAMED TOP LANDING WITH A CHIPBOARD FLOOR TO MATCH THE EXISTING MEZZANINE CONSTRUCTION. ADOPT AT LEAST STEEL SIZES AND COLUMNS AS EXISTING STRUCTURES.
- REMOVE AND RELOCATE EXISTING STEEL STRUCTURE STAIRCASE AND FORM A NEW STEEL FRAMED TOP LANDING WITH A CHIPBOARD FLOOR TO MATCH THE EXISTING MEZZANINE CONSTRUCTION. ADOPT AT LEAST STEEL SIZES AND COLUMNS AS EXISTING STRUCTURES.
- ALL NEW DECORATION SHOULD BE FULLY DDA COMPLIANT AND ACHIEVE THE REQUIRED SURFACE SPREAD OF FLAME AS INDICATED IN THE CONSULTING STRUCTURAL ENGINEER'S REPORT. ALL NEW DECORATION TO BE MATCHED TO EXISTING DECORATION TO MEET CLIENT REQUIREMENTS. THE CLIENT SHOULD PROVIDE AN ACCESS STATEMENT FOR SUBMISSION TO THE BUILDING INSPECTOR.
- THE EXISTING INSTALLED POWER AND LIGHTING CIRCUITS REQUIRE TO BE MODIFIED TO SUIT THE NEW LAYOUT AND TO BE UPGRADE TO COMPLY WITH NEWER LEGISLATION AND WERE POSSIBLE IMPROVE ENERGY PERFORMANCE SUCH AS PIR SWITCHING TIME AND LIGHT LEVEL CONTROLS.

DO NOT SCALE

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MECHANICAL, ELECTRICAL, PLUMBING, SANITARY AND STRUCTURAL COMPONENTS ARE TO BE VERIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

MECHANICAL INSTALLATION OR MODIFICATIONS, MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND THE LATEST EDITIONS OF THE RELEVANT EUROPEAN STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND EUROPEAN STANDARDS. IN ADDITION THEY MUST COMPLY WITH THE 16TH EDITION OF THE IEE WIRING REGULATIONS AND THE 10TH EDITION OF THE BS 58 PART 1 AND 2 WIRING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND EUROPEAN STANDARDS.

PLEASE NOTE ELECTRICAL CONTRACTORS MUST BE MEMBERS OF THE ELECTRICAL CONTRACTORS ASSOCIATION (ECA) AND REGISTERED WITH THE CONTRACTING (NICEIC) & THE ELECTRICAL CONTRACTORS ASSOCIATION (ECSA).

MECHANICAL INSTALLATION OR MODIFICATIONS, INCLUDING HEATING & HOT WATER SHALL COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND THE LATEST EDITIONS OF THE RELEVANT EUROPEAN STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND EUROPEAN STANDARDS. IN ADDITION THEY MUST COMPLY WITH THE 16TH EDITION OF THE IEE WIRING REGULATIONS AND THE 10TH EDITION OF THE BS 58 PART 1 AND 2 WIRING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND EUROPEAN STANDARDS.

ALL WORKS ARE TO COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS.

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL PLAN DRAWINGS & DOCUMENTS RELATING TO THE WORKS.

Refer also to Drawings

| VERIFICATION STATUS | Verified by |
|---------------------|-------------|
| DESIGN | |
| PLANNING | |
| BUILDING CONTROL | Neil Aug 10 |
| CONSTRUCTION | |

| No | Revision | Date | Dm | Chkd |
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Drawn By
Proposed Ground Floor Plan

Scale
 1/50 @ A1

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