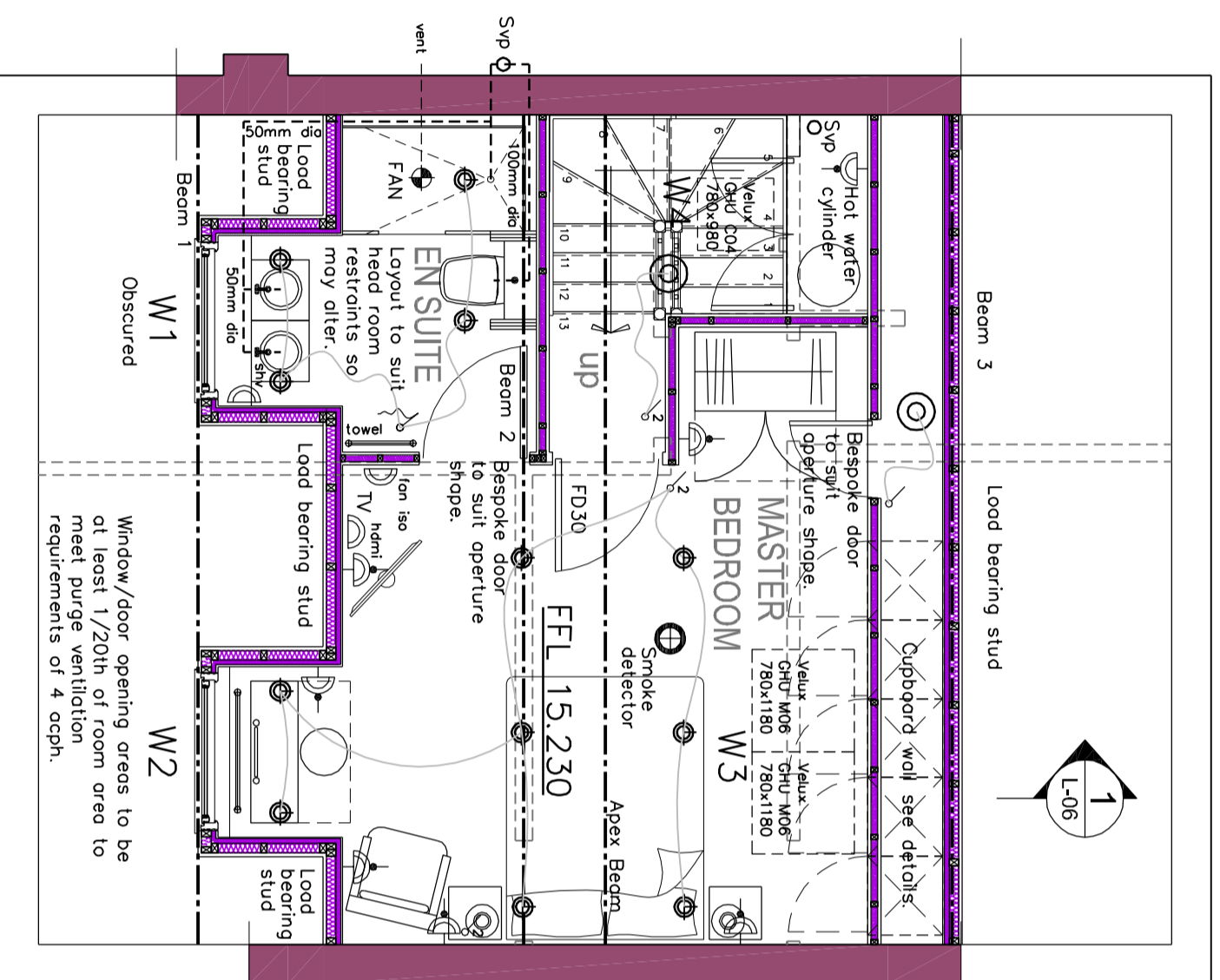


# PROPOSED SECOND FLOOR GENERAL ARRANGEMENT PLAN



## LEGEND

- ☉ Surfaced mounted ceiling rose.
- ⊕ Recessed luminaire such as Aurora SOLA AU-DLM531 or AU-DLM532 for directional, fire rated and part LI compliant.
- ⊗ External light to client specification
- ⊖ One way lighting switch
- ⊖ Two way lighting switch
- ⊖ One way pull chord lighting switch
- ⊖ Intermediate switch
- ⊖ Denotes key operated switch
- ⊖ Lighting control pir movement sensor
- ⊖ Smoke detector and sounder/beacon base combined
- ⊖ Fixed temperature heat detector and sounder base combined
- ⊖ Manual call point
- ⊖ Carbon Monoxide detector and sounder combined.
- ⊖ Combined sounder / xenon beacon
- ⊖ Intruder alarm control panel
- ⊖ Velux auto control module
- ⊖ Velux
- ⊖ Distribution Board
- ⊖ Floor outlet box containing 2no. twin switched socket outlet and 1no. blank 4 way data+comms plate
- ⊖ 13A Switched fused connection unit serving unswitched sso below
- ⊖ 20A Outdoor supply terminating with IP65 switch
- ⊖ 13A twin switched socket outlet
- ⊖ TV Co-axial socket
- ⊖ 13A Switched fused spur outlet
- ⊖ 5A Lamp circuit switched socket outlet
- ⊖ Twin r45 outlet
- ⊖ Panel radiator size by specialist.
- ⊖ Central heating thermostat.

## NOTES

1. All services and outlets shown on this drawing are typical only and shall not be relied upon as quantities for tender allowances. All quantities shall be determined by the tenderer as required to satisfy the requirements of the specification.

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ALL DIMENSIONS AND LEVELS ARE SUBJECT TO A THOROUGH AND COMPREHENSIVE SURVEY AND MUST BE CHECKED ON SITE AT THE COMMENCEMENT OF ANY WORKS.

ALL TYPES OF STRUCTURAL COMPONENTS ARE TO BE VERIFIED BY A STRUCTURAL ENGINEER.

ELECTRICAL INSTALLATION OR REPAIRS TO EXISTING SYSTEMS AND WORKMANSHIP SHALL COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND C OF PS AND ARE TO BE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND SUITABLE FOR THE INTENDED USE OF THE BUILDING.

THE LOCAL ELECTRICITY SUPPLY AUTHORITY, BRITISH TELECOM, THE BUILDING REGULATIONS LIVES AMENDMENTS.

PLEASE NOTE ELECTRICAL CONTRACTORS MUST BE MEMBERS OF THE ELECTRICAL CONTRACTORS ASSOCIATION.

REGULATORY INSTALLATION OR REPAIRS TO EXISTING SYSTEMS AND WORKMANSHIP SHALL COMPLY WITH THE LATEST EDITIONS OF THE RELEVANT BRITISH STANDARDS AND C OF PS AND ARE TO BE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND SUITABLE FOR THE INTENDED USE OF THE BUILDING.

THE CLIENT OR APPOINTING AGENT SHOULD ADVISE OF ANY KNOWN DEFECTS OR DAMAGES TO THE BUILDING OR SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS.

THE DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL PLAN, SPECIFICATIONS, NOTES AND CONDITIONS AND OF SOLE REFERENCE TO THIS DRAWING, EXCEPT FOR PLANNING PURPOSES.

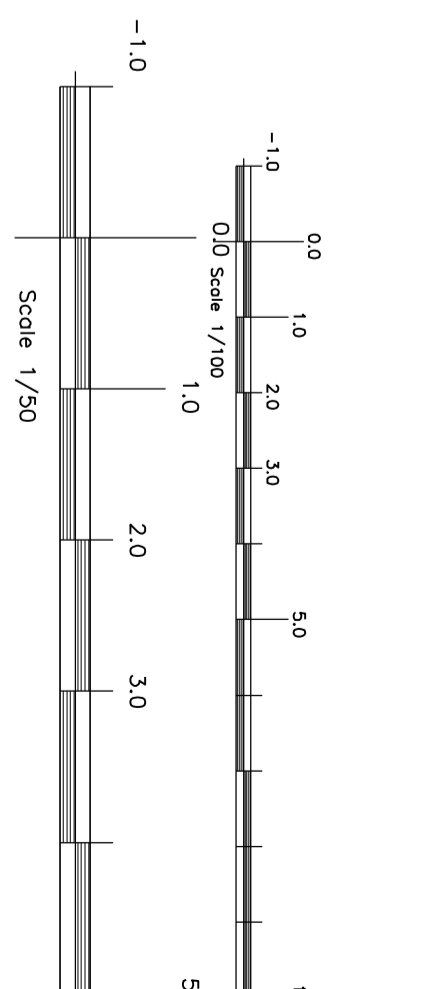
## CDM Regulations 2007 : Designers' Notes on Significant Residual Risks

- 1.

These notes relate solely to information shown on this drawing. Only significant risks which are considered to be unusual, or unlikely to be obvious to a competent contractor or other designer will be highlighted. This information may be subject to revision as the design develops.

Refer also to Drawings	Verification Status	Verified by	Date
MPD/DESIGN PLANNING			
BUILDING CONTROL CONSTRUCTION		Neil	Jan 14

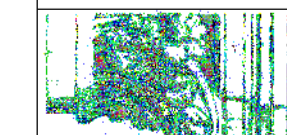
No	Revision	Date	Dr'n	Chkd



## INGO ARCHITECTURE LTD

Client: Mr & Mrs Collins  
Proposed Loft Extension  
Project Title: Silkie 2 Church Road  
Whitstead Bedfordshire MK45 4HH  
Drawing Title: Proposed Second Floor General Arrangement Plan

CIAT CHARTERED PRACTICE AND DEVELOPMENT CONSULTANTS  
4 MORRISON ROAD BARTON-CUM-GLAY BEDFORDSHIRE MK45 4DD  
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Underdraw staircase with plasterboard and skim finish to achieve 30 minutes fire resistance.

Check and confirm (engineer) that any inlets below new structure are adequate to carry increased loads as applicable.

Alter power and lighting circuits as required and provide new to client requirements.

Modify pipe work to suit existing boiler location. Provide new radiators as required all with TRVs. Remove and relocate existing water tanks and position to achieve maximum floor space and to clients space heating and water supply system requirements.

Provide a new timber staircase with newel posts and bolustrading to match the existing style as close as possible or to client instructions.

Modify the existing ceiling structure to allow new aperture through to loft area. Make good as required remaining ceiling and cornices as required.

Provide thermal insulation in loft space outside of the converted area, maintain ventilation paths to current statutory regulations.

Adopt 15mm fireline plasterboard to stud work forming staircase enclosure to provide 30 minutes fire resistance.

Due to the amount of roof alteration should the covering be removed replace existing felt with a breathable membrane.

Soil pipe to vent at least 900mm above any opening within 3m and with a suitable coge.

Make good all existing areas of roof covering and structure as required, such as pointing to chimney, leadwork, ridge and hip tiles, fascia and soffit and rainwatergoods subject to client instruction.

Client to specify door, windows, ironmongery, sanitary ware and kitchen fittings etc.

Fan extracts to connect to tile ventilators via flexible ducts or wall louvers as indicated.

Plasterboard linings to en-suite to be moisture resistant type provide to en-suite face of studs prior to plasterboarding a 15mm thick MDF board to allow secure fixings.

Plasterboard to partitioning to be Sound block to all other areas with cavity filled with a dense Rockwool insulation.

Make good remaining walls, floors and ceilings at knock throughs.

A detailed survey and test of the existing electrical installation should be carried out and remedial works and upgrading completed as required, every socket and light switch to be retained should be replaced with new white plastic MK cover plates within rooms being altered, all new cover plates should be white plastic MK type.

All redundant wiring should be stripped out from walls floor and loft spaces.

The existing plumbing pipe work that will remain should be suitable power flushed, before the installation of any new radiators etc. Any existing radiators are to be removed cleaned and redecorated, they should be reinstalled with new TRVs if the existing are old or defective in any way, provide new valves and pipe trims where flow and return pipes are exposed. It may be required to replace a significant part of the flow and return system to suit the single operation of the heating. New detailed design to be carried out by a suitably qualified heating engineer.