

Existing external openings are to be checked for lintels, else provide new steel lintels.

Remove existing walls, block up existing and make good remaining as required all to the Engineer's confirmation.

Form new openings into existing walls, new structural members and podstones to the engineer's designs.

Remove existing fixtures and fittings check exposed structure and make good any defects as required.

Alter power and lighting circuits as required and provide new to client requirements.

Adjust socket outlet positions so that they are a uniform height in each room.

Modify pipe work to suit new boiler location. Provide new radiators as required all with TRVs.

New plumbing to meet clients requirements.

All steel beams to be clad to be 30 minute fire resisting.

Client to confirm door style and ironmongery. Or match existing to client instruction. Adapt mdf skirtings, architraves and window boards.

External works to be agreed with clients and to suit ground levels.

Client to specify door, windows, ironmongery, sanitary ware and kitchen fittings etc.

Fan extracts to connect to the ventilators via flexible ducts or wall louvres as indicated.

Plasterboard linings to utility and en-suites to be moisture resistant type provide to utility & en-suite face of studs prior to plasterboarding a 15mm thick MDF board to allow secure fixings.

Plasterboard to partitioning to be Sound block to all other areas with cavity filled with a dense Rockwool insulation.

Make good remaining walls, floors and ceilings at knock throughs.

All existing timber is to be checked for decay, structural instability, damp and insect attack. Re piece and treat as may be required, specialist surveys to be carried out all work to be backed with insurance guarantees.

Strip out all existing timber work in rooms affected by new works and replace with new mdf skirtings, architraves and window boards, to clients approval of samples.

Skirtings. All woodwork should be primed and painted in satin or gloss to clients instructions.

Defective ceilings should be removed and replaced and finished with a smooth plaster skim, it may also be required to provide the installation of plumbing and electrical to remove existing ceilings and replace when installations are complete, if and where ceilings are to be removed at ground floor level then a 100mm Rockwool sound insulation should be installed prior to new ceiling. All timber and plaster cornices should be removed.

A detailed survey and test of the existing electrical installation should be carried out and remedial works and upgrading completed as required, every socket and light switch to be retolined should be replaced with new white plastic MK cover plates within rooms being altered, all new cover plates should be white plastic MK type.

All redundant wiring should be stripped out from walls floor and loft spaces.

The existing plumbing pipe work that will remain should be suitable power flushed, before the installation of any new radiators etc. Any existing radiators are to be removed cleaned and redecorated, they should be reinstated with new TRVs if the existing are old or defective in any way, provide new valves and pipe trims where flow and return pipes are exposed, I may be required to replace a significant part of the flow and return system to suit the single operation of the heating. New detailed design to be carried out by a suitably qualified heating engineer.

* clarify existing cavity width to confirm lintel specification.

Existing chimneys to be retained should be swept and smoke tested any defects are to be put right, Provide adequate combustion ventilation applicable to the chosen appliance. Construct new hearth(s) to Current building regulation requirements.

Provide a new boiler located in the utility area or as required by client and subject to flue outlet position, and instructions.

Combustion air supply vent. Volume to suit appliance.

Ventilation rate to be 50% of flue cross sectional area.

If doors are to be partially glazed to new room ensure toughened glass is provided.

IP rated wall mounted lighters, with cold white led bulbs (warm to client instruction), Fitting to client specifications or sample approval.

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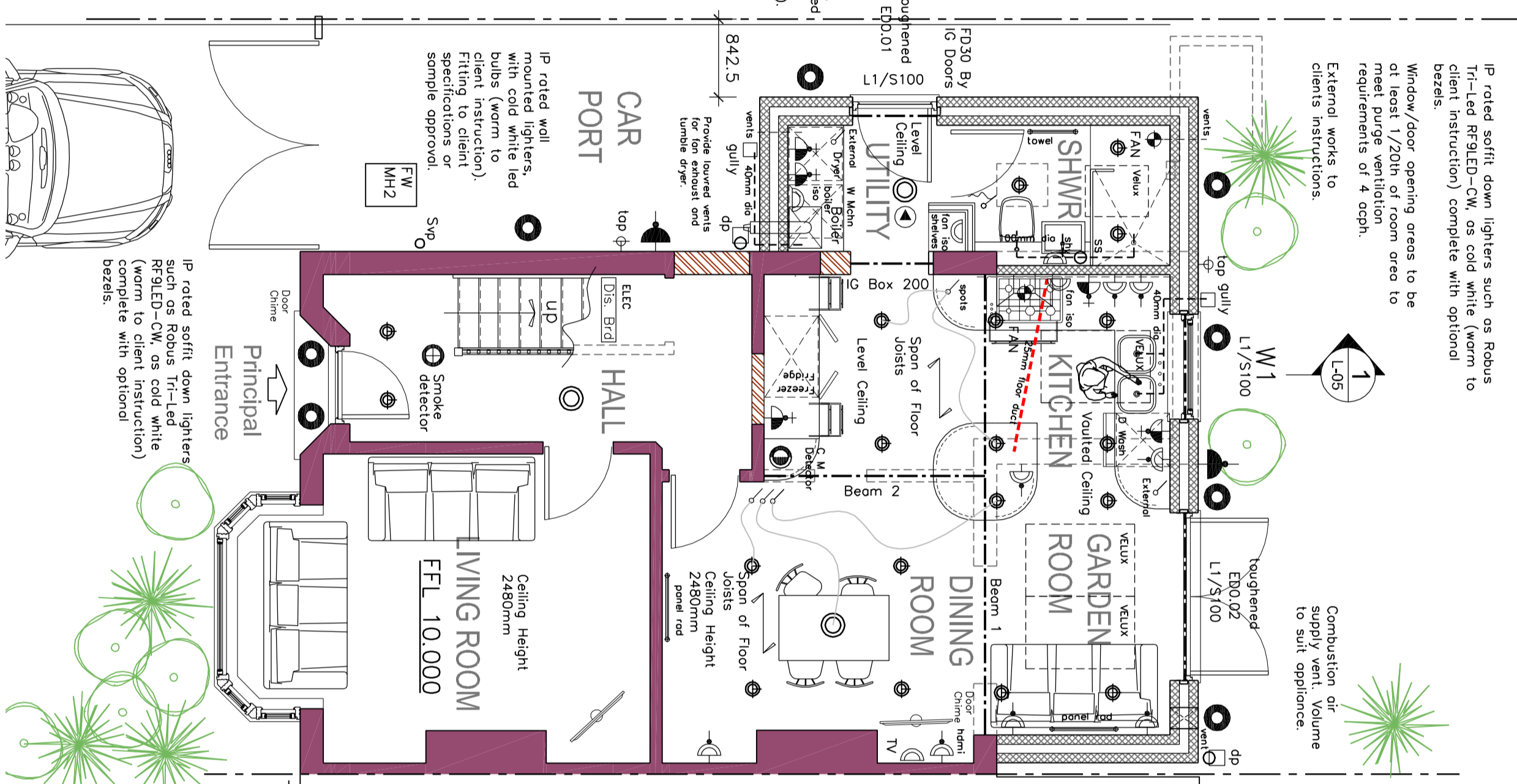
PROPOSED GROUND FLOOR GENERAL ARRANGEMENT PLAN

IP rated soffit down lighters such as Robus Tri-Led RFL9LED-CW, as cold white (warm to client instruction) complete with optional bezels.

Window/door opening areas to be at least 1/20th of room area to meet purge ventilation requirements of 4 ach.

External works to clients instructions.

Combustion air supply vent. Volume to suit appliance.



LEGEND

Surfaced mounted ceiling rose.

Recessed luminaire such as Aurora SOLA AU-DLM531 or AU-DLM532 for directional, fire rated and part L1 compliant.

External Light to client specification

One way lighting switch

Two way lighting switch

One way pull chord lighting switch

Intermediate switch

Denotes key operated switch

Lighting control pir movement sensor

Smoke detector and sounder/beacon bose combined

Fixed temperature heat detector and sounder bose combined

Manual call point

Carbon Monoxide detector and sounder combined.

Combined sounder / xenon beacon

Intruder alarm control panel

Velux auto control module

TTA

Floor outlet box containing 2no. twin switched socket outlet and 1no. blank 4 way data+comms plate

13A Switched fused connection unit serving unswitched sso below

20A Outdoor supply terminating with IP65 switch

13A Twin switched socket outlet

TV Co-oxia socket

13A Switched fused spur outlet

5A LAMP circuit switched socket outlet

Lamp

Twin r/45 outlet

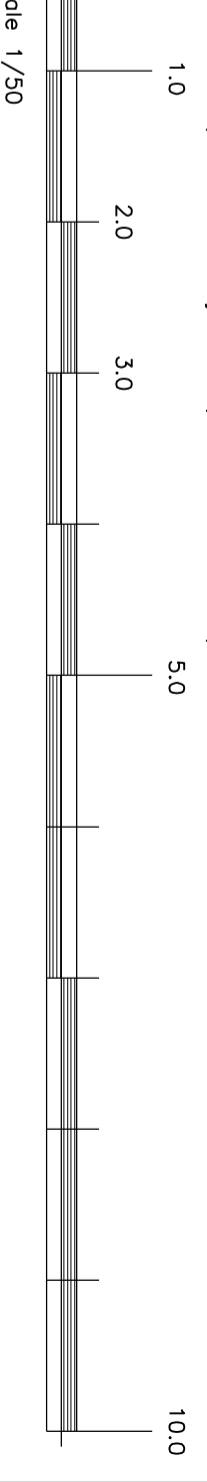
Panel radiator size by specialist.

Central heating boiler.

Central heating thermostat.

NOTES

1. All services and outlets shown on this drawing are typical only and shall not be relied upon as quantities for tender allowances, all quantities shall be determined by the tenderer as required to satisfy the requirements of the specification.



INIGO ARCHITECTURE LTD

Client: Mr & Mrs Campbell
Project Title: Proposed Side and Rear Extension
Drawing Title: Proposed Ground Floor Arrangement Plans

Scale: 1/150
Date: Jan 14
Drawing: MH
Checked: MH

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ALL TYPES OF STRUCTURAL COMPONENTS ARE TO BE VERIFIED BY A STRUCTURAL ENGINEER.

ELECTRICAL INSTALLATION, OR REPAIRS TO EXISTING, WIRING AND WORKMANSHIP SHALL COMPLY WITH THE LATEST EDITIONS OF THE REGULATIONS FOR ELECTRICAL INSTALLATIONS AND BE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND SUITABLE FOR THE LOCAL WATER COMPANY BYELAWS, THE GBSE GUIDE AND C OF PS, THE LATEST EDITION OF THE BUILDING REGULATIONS INCLUDING AMENDMENTS 1 & 2, THE LOCAL ELECTRICITY SUPPLY AUTHORITY, BRITISH TELECOM, THE BUILDING REGULATIONS LIVES AMENDMENTS.

PLEASE NOTE ELECTRICAL CONTRACTORS MUST BE MEMBERS OF THE REGULATED ELECTRICAL CONTRACTORS ASSOCIATION (REPCONTRACT), INSTALLED IN ACCORDANCE WITH THE IET 18TH EDITION AND COLD WATER AND VENTILATION SERVICES TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE GBSE GUIDE AS PRODUCED BY THE CHARTERED INSTITUTE OF BUILDING SERVICES ENGINEERS & THE LOCAL WATER COMPANY BYELAWS, THE GBSE GUIDE AND C OF PS, THE LATEST EDITION OF THE BUILDING REGULATIONS APPROVED DOCUMENTS AND ALL APPLICABLE LOCAL REGULATIONS.

ALL WORKS ARE TO COMPLY WITH THE LATEST REVISIONS OF THE BRITISH STANDARDS.

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THE DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL PLAN, SECTION AND ELEVATION DRAWINGS AND NOT SCALE FROM THIS DRAWING, EXCEPT FOR PLANNING PURPOSES.

CDM Regulations 2007 - Designers Notes on Significant Residual Risks

1.	Residual Risks

These notes relate solely to information shown on this drawing. Only significant risks which are considered to be unusual, or unlikely to be obvious to a competent contractor or other designer will be highlighted. This information may be subject to revision as the design develops.

Refer also to Drawings

Verification Status	Verified by	Date
MP/D/RS/ON		
PLANNING		
BUILDING CONTROL	Neil	Jan 14
CONSTRUCTION		

No	Revision	Date	Drn	Chkd